



320 Oak Street South - Sauk Centre, MN 56378
 Ph: (320) 352-2203 FAX: (320) 352-0121
 Email: planning@ci.sauk-centre.mn.us

Commercial Permit Application New Building

For Office Use Only	
Permit No.	_____
PID No.	_____
DATE RCVD.	_____
Permit Fee	\$ _____
Surcharge	\$ _____
Plan Check	\$ _____
City Fee	\$ _____
Water Access	\$ _____
Sewer Access	\$ _____
PUC Fee	\$ _____

Please Type or Print Legibly:

1. Site Address _____ Sauk Centre, MN 56378
2. Owner(s) _____ Daytime Phone _____
3. Owner's Address (if different from above) _____
4. Legal Description of Site: *(Please Attach Metes & Bounds Description)*
Note If unknown, please refer to property tax statement or ask Zoning Administrator*
5. Zoning _____ SETBACKS & LOT COVERAGE VARY IN THE DIFFERENT ZONING DISTRICTS
6. Type of Improvement:
 Build _____ Addition _____ Remodel _____ Roof Only _____ Other _____
7. Describe in detail work to be done _____

8. Building Covering Material(s) *If Applicable* _____
9. Approximate Start Date _____
10. Estimated Cost of Project *(Including Materials & Labor)*: \$ _____
11. Type of Construction:
 On Site _____ Modular _____ Prefabricated _____ Other _____ *(Explain)*

Additional Information Requested On Reverse

12. Dimensions of Structure: _____

13. Number of Stories of Structure(s) _____

14. Please Provide the Following: *(If Applicable)*

General Contractor _____ PH: _____

Electrical Contractor _____ PH: _____

Plumbing Contractor _____ PH: _____

Mason & Concrete Contractor _____ PH: _____

Heating & Venting Contractor _____ PH: _____

Excavation Contractor _____ PH: _____

Sprinkler Contractor _____ PH: _____

Required Forms & Items to Return with Application:

Utilities Checklist *(To Be Completed and Signed at Public Utilities Office)*

Certificate of Survey (by licensed Land Surveyor)

TWO SETS of Construction Plans *(Signed By Architect if Applicable)*

Other _____

Your application will be deferred until all checked items above are provided.

AUTHORIZED SIGNATURE OF OWNER OR OWNER'S AGENT

ZONING ADMINISTRATOR

This Permit Expires One Year From: _____

BUILDING OFFICIAL

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of Laws and Ordinances governing this type of work will be complied with whether specified herein or not. I have identified all property boundaries, easements, flood zones and/or wetlands existing on the property on my site plan and application.

The undersigned further agrees the City and its' administrative staff relied on the accurateness of this application, plans and specifications relative to this project and holds the city of Sauk Centre, and its employees harmless from all liability arising from the granting of this permit.

Utilities Checklist

NOTE: This form must be presented to the Sauk Centre Public Utility Commission Office (101 Main St. S.) signed by a member of their staff and returned to the Planning & Zoning office before a building permit will be issued.

	YES	NO	N/A
Will building require electrical heat?	_____	_____	_____
Are you installing an electric hot water heater?	_____	_____	_____
Adding electric central air conditioning?	_____	_____	_____
Do you require new electric service or or a change in service box location? Date: _____	_____	_____	_____
Are there any changes to your present water service planned or a new line hook-up?	_____	_____	_____
Are there any changes to your present sanitary sewer service planned or a new hookup?	_____	_____	_____
If a disturbance to the street adjacent to the structure is needed for utility services, have you applied for a street opening permit from the City Hall?	_____	_____	_____
Do you wish to know more about load management of electrical service?	_____	_____	_____
Will you be installing a lawn sprinkler system?	_____	_____	_____

Name: _____

Address: _____

Legal Description: _____

General Contractor: _____ Electrician: _____

Plumber: _____ Excavator: _____

REMINDERS:

1. There shall be installed in all new buildings a remote reading water meter adjacent to the electric meter. The owner must install a half inch (1/2) PVC conduit from the water meter location to the electric meter socket panel on the outside of the building. Conduit shall be placed within six (6) inches alongside the conduit of the electric meter socket panel and a minimum of two (2) feet above grade.
2. There will be NO removal of dirt in the public road right-of-way or the public easement. There are many different utility services located in the R-O-W and easements, therefore, the elevation and coverage cannot be changed.
3. Customers with new sewer & water hookups to the sanitary sewer & water mains shall pay both sewer and water access charges (SAC & WAC). The WAC charge is \$_____ for a (1) inch service line or smaller. The SAC charge is \$_____ for upto and including a (4) inch service line. Services over these sizes will be addressed on an individual basis. This charge is to be paid along with the building permit fee at City Hall.

_____ Initial

_____ Initial

_____ Initial

Public Utilities Signature Date

Property Owner/Applicant Signature Date

Erosion Control Requirements Landscaping and Grading

It is the intent of the City of Sauk Centre to satisfy the appropriate water quality requirements of the Clean Water Act and the Environmental Protection Agency's (EPA) Storm Water Phase II of the National Pollutant Discharge Elimination System (NPDES) storm water program.

Provisions shall be made to the maximum extent practical for construction related activities to assure:

- Public streets remain clean
- The water quality of our water bodies and wetlands is protected and enhanced
- Discharge of sediments and pollutant runoff into storm drains is reduced or eliminated
- Surrounding properties will be minimally affected by erosion and runoff

Construction activities which include: clearing, grading or excavating land shall provide for effective control of erosion, sediments and all other pollutants. The property owners or construction site operators shall be responsible for the installation and monitoring of erosion and sediment controls and best management practices (BPM's). Such controls will be monitored through the building permit inspection process.

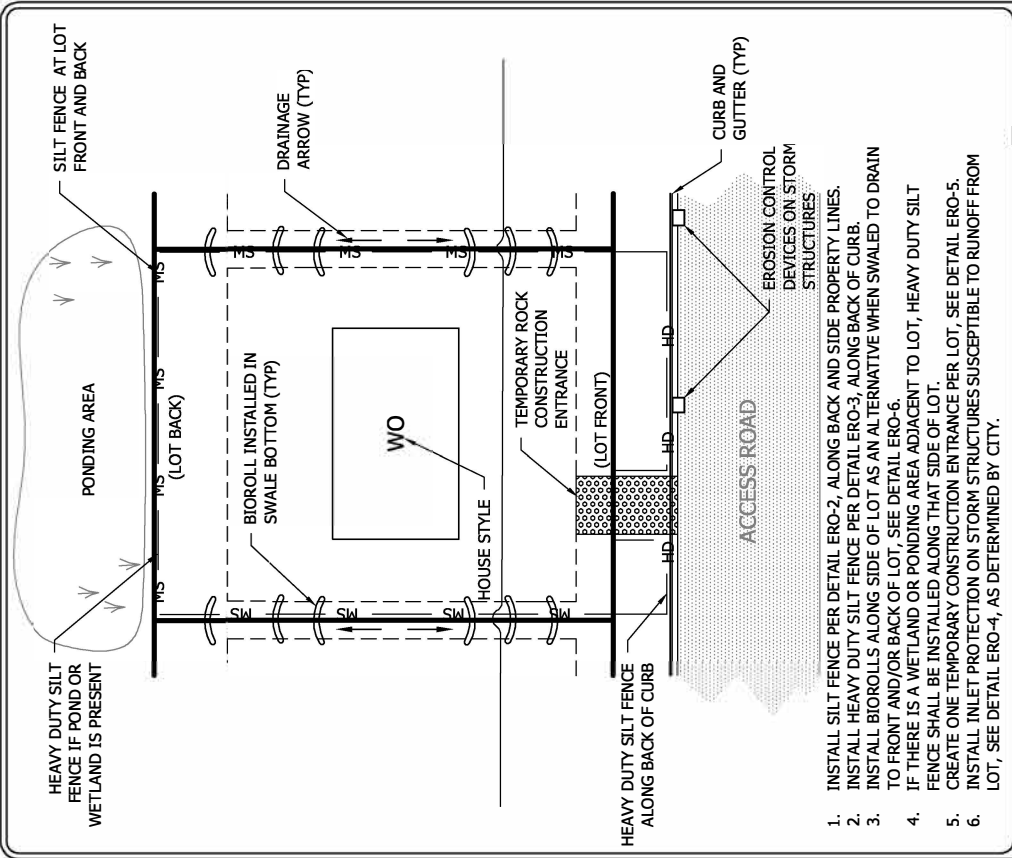
At minimum, the following BPM's shall be implemented:

- **Silt fencing around areas of disturbed soil**
Silt fencing shall be placed around the outer edge of all areas in accordance with the details shown on the back. On typical residential lots, the placement shall be within 3' of the lot line. The City will determine those areas that require silt fence based on the site plan submitted, but the city reserves the right to require additional silt fence at any time as determined necessary. A sample of erosion control requirements is on the reverse side illustrating the details for installation of silt fencing.
- **Stabilized construction entrances**
Using soil to bridge the curb line or cross the street is PROHIBITED. Plywood or wood planking may be used on curb cuts or driveway aprons may be completed for entrance.
- **Temporary rock construction entrances**
Temporary rock entrances shall be placed at all access points to a construction site. The installation of more than one access point shall be reviewed and approved by the City. The rock entrances shall be a minimum of 12 feet in width and 20 feet long and shall be placed in accordance with the details shown on the back.

I have read, understand and agree to the above requirements.

Signed: _____ **Date:** _____

Plot Date: 03/21/2016
 Drawing Name: V:\1320\resources\DWG_Blocks\civ\Det\Dep\New\Cty of Sauk Center\ERO-2.dwg
 Xref:



Plot Date: 03/21/2016
 Drawing Name: V:\1320\resources\DWG_Blocks\civ\Det\Dep\New\Cty of Sauk Center\ERO-2.dwg
 Xref:



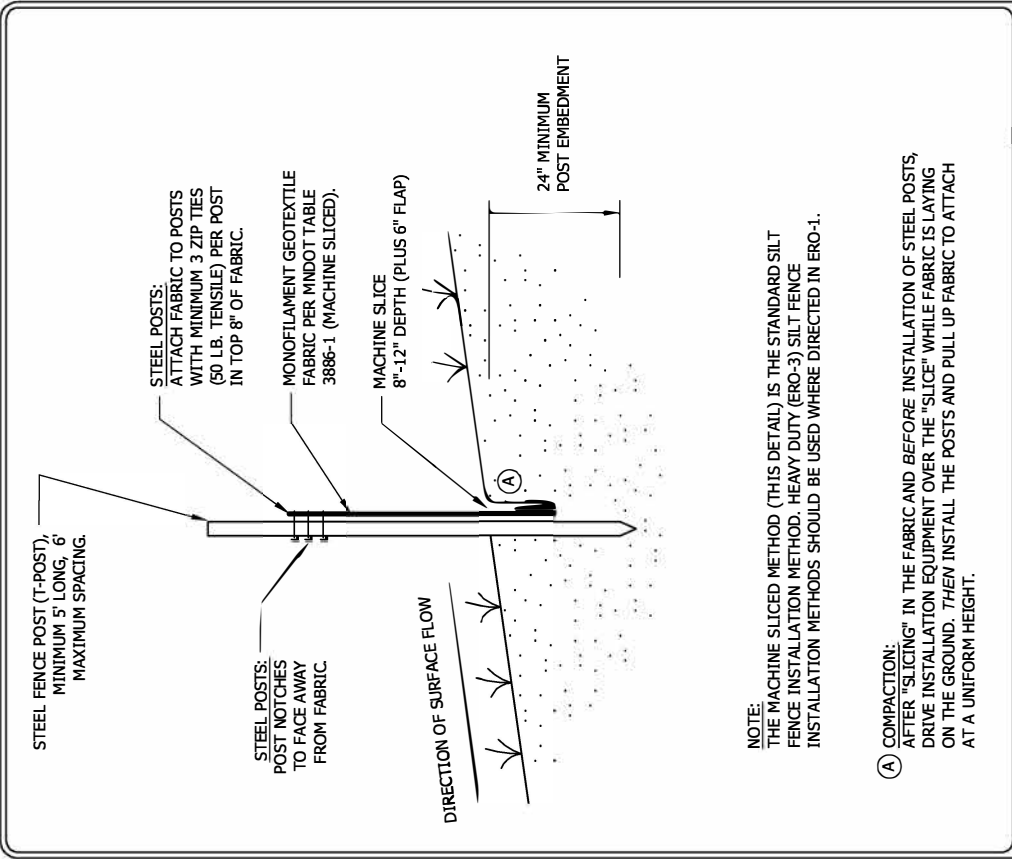
3177 23rd Street S.
 St. Cloud, MN 56301
 www.stantec.com

EROSION CONTROL FOR LOT GRADING

SAUK CENTRE, MINNESOTA

LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-1



NOTE:
 THE MACHINE SLICED METHOD (THIS DETAIL) IS THE STANDARD SILT FENCE INSTALLATION METHOD. HEAVY DUTY (ERO-3) SILT FENCE INSTALLATION METHODS SHOULD BE USED WHERE DIRECTED IN ERO-1.

(A) COMPACTION:
 AFTER "SLICING" IN THE FABRIC AND BEFORE INSTALLATION OF STEEL POSTS, DRIVE INSTALLATION EQUIPMENT OVER THE "SLICE" WHILE FABRIC IS LAYING ON THE GROUND. THEN INSTALL THE POSTS AND PULL UP FABRIC TO ATTACH AT A UNIFORM HEIGHT.



3177 23rd Street S.
 St. Cloud, MN 56301
 www.stantec.com

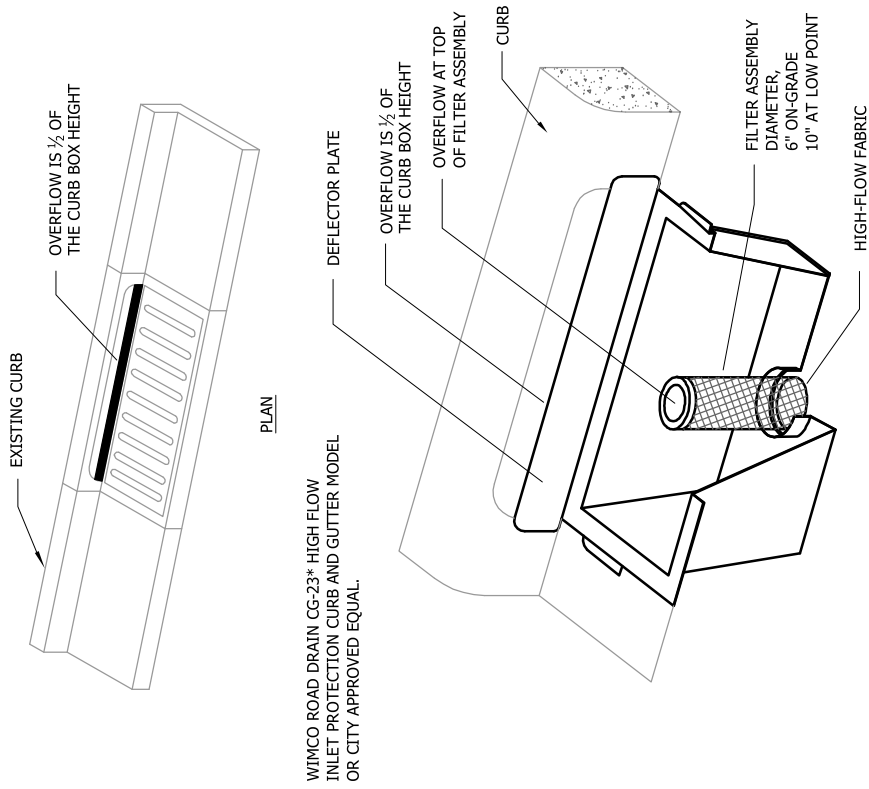
MACHINE SLICED SILT FENCE

SAUK CENTRE, MINNESOTA

LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-2

Plot Date: 03/21/2016
 Drawing Name: V:\1930\resource\DWG Blocks\inlet\Det\Inlet\City of Sauk Centre\ERO-04.dwg
 Xref:



PLAN
 WIMCO ROAD DRAIN CG-23* HIGH FLOW
 INLET PROTECTION CURB AND GUTTER MODEL
 OR CITY APPROVED EQUAL.

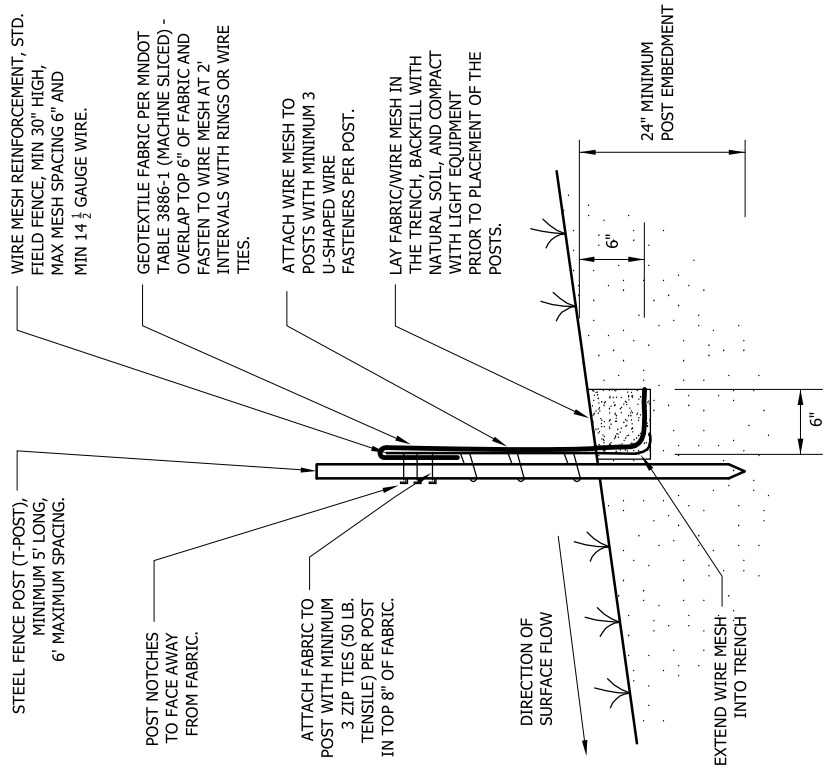
LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-4

INLET PROTECTION - CATCH BASIN INSERT
 AFTER CURB CONSTRUCTION
 SAUK CENTRE, MINNESOTA



Plot Date: 03/21/2016
 Drawing Name: V:\1930\resource\DWG Blocks\inlet\Det\Inlet\City of Sauk Centre\ERO-03.dwg
 Xref:



NOTE:
 SPlicing WILL BE MADE AT OPPOSING SILT FENCE POSTS BY PLACING
 POSTS AND SILT FENCE NEXT TO EACH OTHER AND ROTATING 360°.

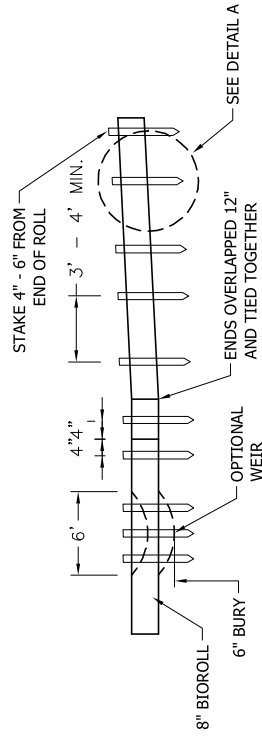
LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-3

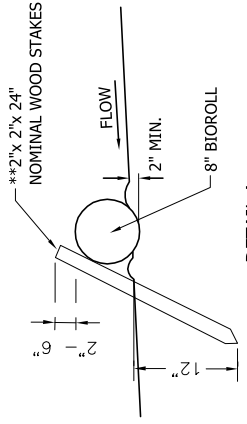
HEAVY DUTY SILT FENCE
 SAUK CENTRE, MINNESOTA



Plot Date: 03/10/16
 Drawing name: V:\1930\resource\DWG Blocks\civil\Det\Deg\NewCity of Sauk Centre\ERO-06.dwg
 Xref:



* OPTIONAL WEIR - USE IN FLAT AREAS WHERE THERE IS POTENTIAL FOR WATER TO BE BACKED UP ON ADJACENT PROPERTY.



** STAKES SPACED EVERY 3-4 FEET. MANUFACTURER MAY REQUIRE STAKE THROUGH CENTER OF BIOROLL. THE BIOROLL MANUFACTURER'S STAKING DETAILS SUPERSEDE THIS STAKING DETAIL.

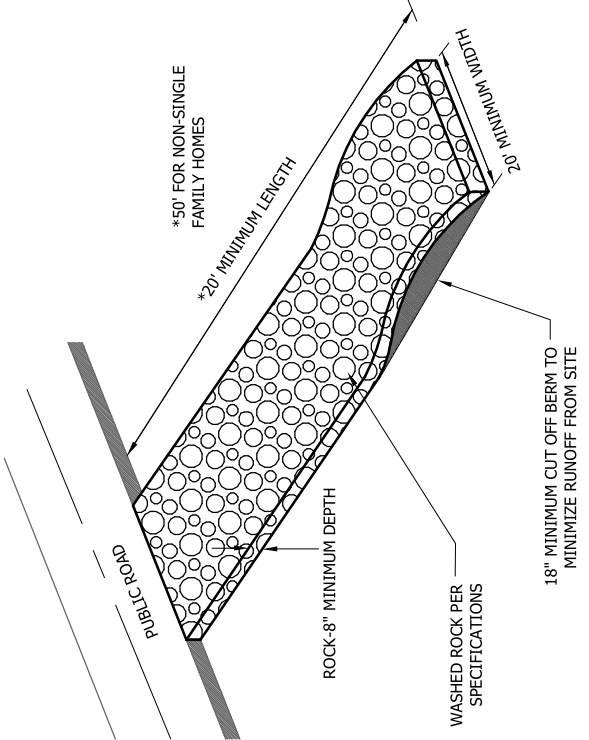
LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-6

8" BIOROLL INSTALLATION
 SAUK CENTRE, MINNESOTA



Plot Date: 03/10/16
 Drawing name: V:\1930\resource\DWG Blocks\civil\Det\Deg\NewCity of Sauk Centre\ERO-05.dwg
 Xref:



- NOTES:
1. MnDOT 3733 TYPE 4 FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MUD MIGRATION THROUGH MATERIAL.
 2. FUGITIVE ROCK WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.
 3. CONSTRUCTION ENTRANCE MUST BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS ON THE SITE.
 4. THE ENTRANCE MUST BE MAINTAINED IN PROPER CONDITION TO PREVENT TRACKING OF MUD OFF THE SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE PAD.
 5. THIS ENTRANCE WILL BE USED BY ALL VEHICLES ENTERING OR LEAVING THE PROJECT.
 6. THE CONSTRUCTION ENTRANCE WILL BE REMOVED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACING.

LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-5

ROCK CONSTRUCTION ENTRANCE
 SAUK CENTRE, MINNESOTA



Commercial New Construction Building Permit Request Requirements

A **Certificate of Survey by a MN Registered Land Surveyor** is required with all applications for new construction. The survey should include at minimum:

- * Legal description of the property and site address
- * Lot dimensions
- * North Point and Graphic Scale
- * All adjacent streets, alleys, easements, utilities (water, sewer and electric) and overhead power lines
- * Footprint of ALL structures with ALL **setbacks** and **dimensions** noted
- * Elevation of all lot corners, the building pad, side front and rear yard lines, elevations at all low openings or all lookout/walkouts, garage slab elevation, top of footing elevation, lowest floor elevation, top of block elevation and curb elevation
- * Drainage arrows showing how the lot is to drain
- * Percent of driveway slope and width of curb cut at the street (calculate slope at center of driveway)
- * Distance to reference points from lot corner along lot line to verify building placement

Additionally, the Building Official requires **TWO** sets of **Construction Plans** drawn to scale. An approved set of plans will be returned to you; the second set will be filed with the City. The following items must be included on all construction plans (as applicable):

- * Floor plan of basement and each floor above
- * Fire protection between building and any attached structure
- * Foundation drainage
- * Names and addresses of: General Contractor, Plumber, Mechanical, Electrician
- * Cross Section detailing foundation, footings, wall roof, steps, deck (as applicable)

The following standards apply for **C-2** zoning district:

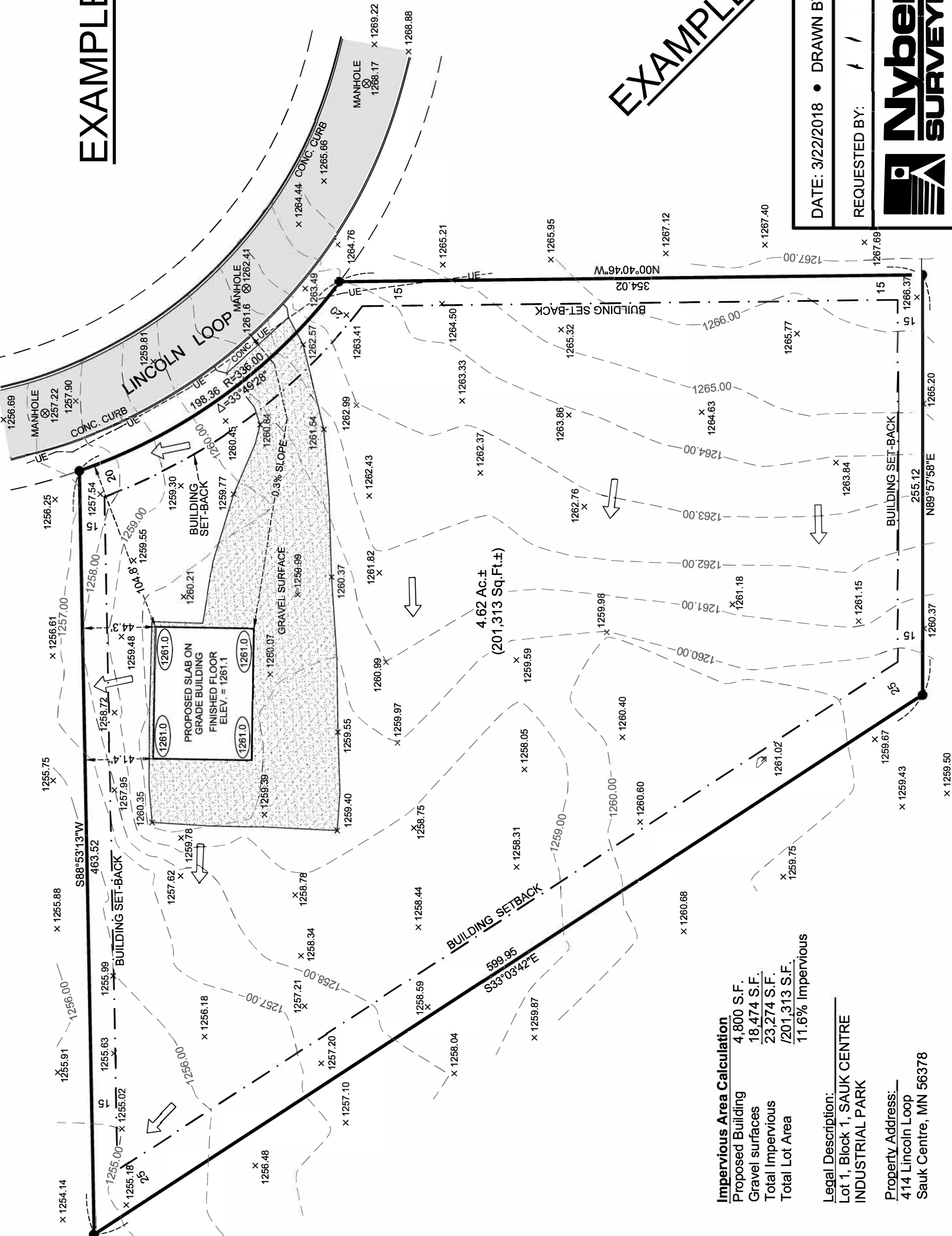
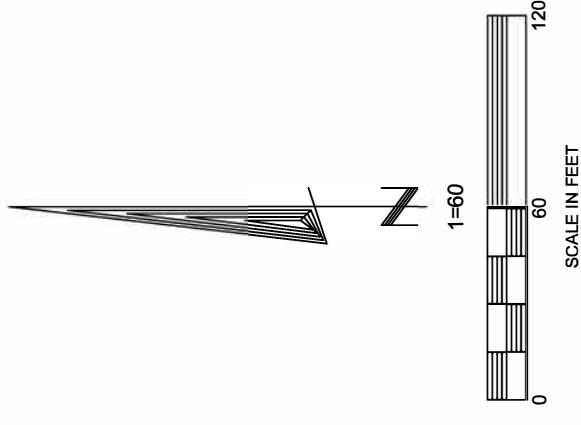
Site Requirements: Minimum Lot Area - 12,000 (all uses) Minimum Lot Width - 80' Maximum Lot Coverage - 50%	Structure Requirements: Maximum Height - 50'
Setback Requirements: Front Setback - 25' Rear Setback - 20' Side Setback - 15' Side Street Corner Setback - 25' Corner lots at street intersections shall maintain front yard setbacks on each street side	

Please contact the Planning/Zoning Office with questions at (320) 352-2203.

CERTIFICATE OF SURVEY

EXAMPLE

EXAMPLE



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Brad M. Nyberg
 Brad M. Nyberg
 Date March 22nd, 2018 License No. 42620

SEC. 21 T 134 N R 36 W

DATE: 3/22/2018 • DRAWN BY: TMH • CHECKED: BMN • JOB NO. 9695

REQUESTED BY: / / :

Nyberg SURVEYING
 509 22ND AVE. EAST, SUITE 101
 ALEXANDRIA, MINNESOTA 56308
 PH. (320) 762-4111 * FAX (320) 762-4112
 www.nybergsurveying.com

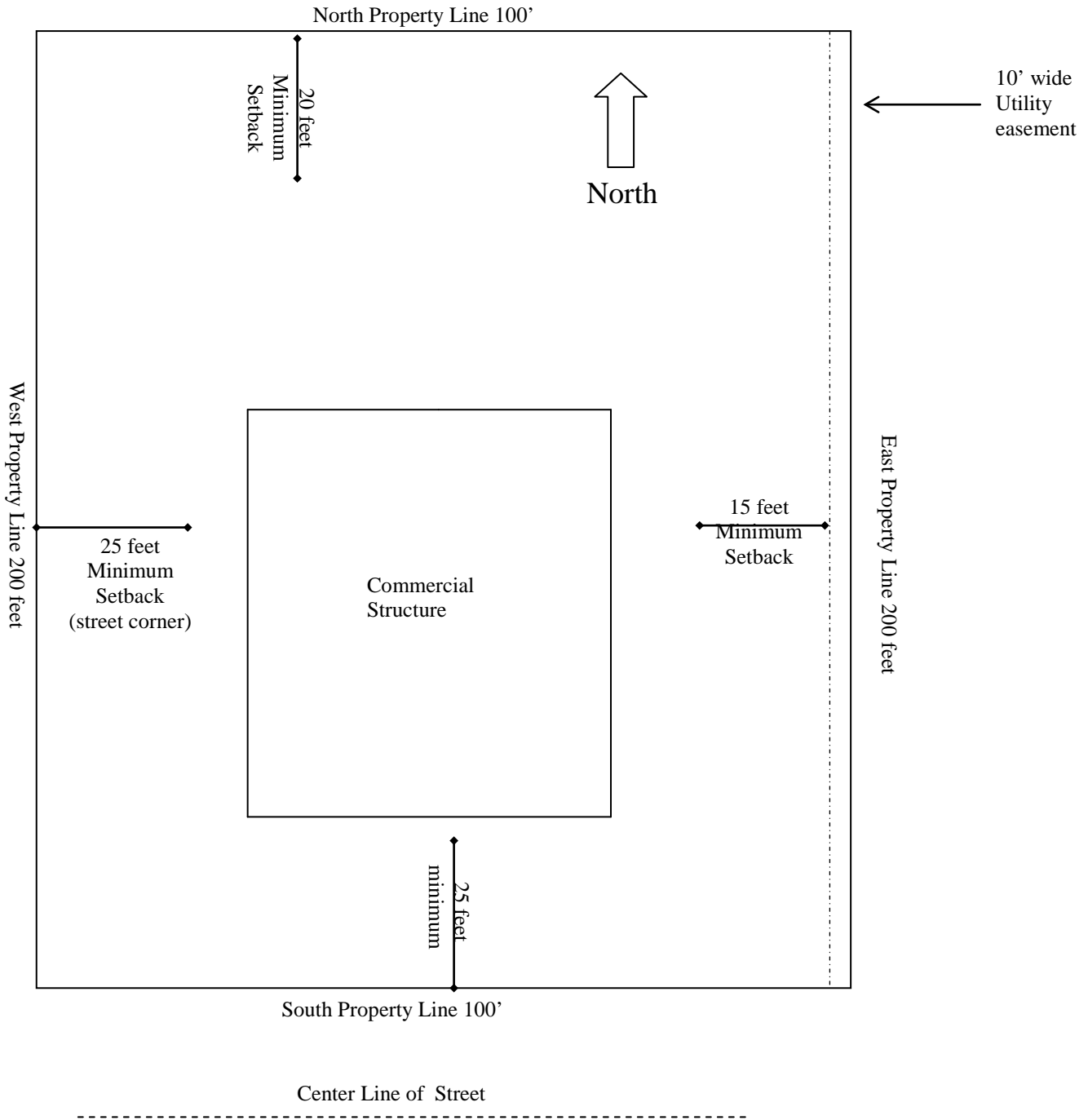
Impervious Area Calculation

Proposed Building	4,800 S.F.
Gravel surfaces	18,474 S.F.
Total Impervious	23,274 S.F.
Total Lot Area	201,313 S.F.
	11.6% Impervious

Legal Description:
 Lot 1, Block 1, SAUK CENTRE INDUSTRIAL PARK

Property Address:
 414 Lincoln Loop
 Sauk Centre, MN 56378

Example Site Plan C-2



(Owner's Name)
Site Plan

Lot 1 Block 1 Original Townsite

Scale 1" = 20'