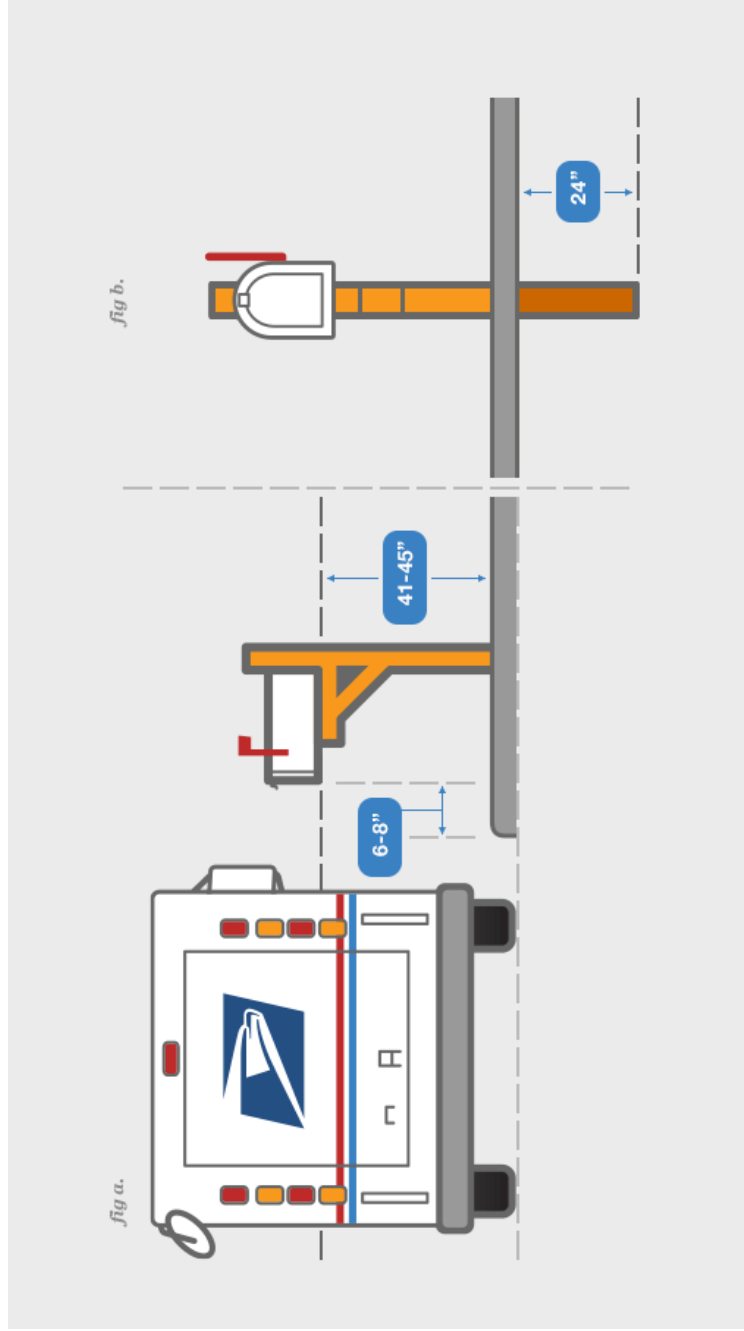


Postal Service Guidelines and Regulations You Should Know

Before you start construction please call or visit your local Post Office at (320) 352-3435 or (800) 275-8777 for requirements, the Post Office is located at 400 Main Street South.

Mailbox Installation and How to Set Up and Mount a Mailbox



Utilities Checklist

NOTE: This form must be presented to the Sauk Centre Public Utility Commission Office (101 Main St. S.)

signed by a member of their staff and returned to the Planning & Zoning office before a building permit will be issued.

	YES	NO	N/A
Will building require electrical heat?	_____	_____	_____
Are you installing an electric hot water heater?	_____	_____	_____
Adding electric central air conditioning?	_____	_____	_____
Do you require new electric service or or a change in service box location? Date: _____	_____	_____	_____
Are there any changes to your present water service planned or a new line hook-up?	_____	_____	_____
Are there any changes to your present sanitary sewer service planned or a new hookup?	_____	_____	_____
If a disturbance to the street adjacent to the structure is needed for utility services, have you applied for a street opening permit from the City Hall?	_____	_____	_____
Do you wish to know more about load management of electrical service?	_____	_____	_____
Will you be installing a lawn sprinkler system?	_____	_____	_____

Name: _____

Address: _____

Legal Description: _____

General Contractor: _____ Electrician: _____

Plumber: _____ Excavator: _____

REMINDERS:

1. There shall be installed in all new buildings a remote reading water meter adjacent to the electric meter. The owner must install a half inch (1/2) PVC conduit from the water meter location to the electric meter socket panel on the outside of the building. Conduit shall be placed within six (6) inches alongside the conduit of the electric meter socket panel and a minimum of two (2) feet above grade.
2. There will be NO removal of dirt in the public road right-of-way or the public easement. There are many different utility services located in the R-O-W and easements, therefore, the elevation and coverage cannot be changed.
3. Customers with new sewer & water hookups to the sanitary sewer & water mains shall pay both sewer and water access charges (SAC & WAC). The WAC charge is \$_____ for a (1) inch service line or smaller. The SAC charge is \$_____ for upto and including a (4) inch service line. Services over these sizes will be addressed on an individual basis. This charge is to be paid along with the building permit fee at City Hall.

Initial

Initial

Initial

Public Utilities Signature Date

Property Owner/Applicant Signature Date

City of Sauk Centre
 320 South Oak Street - Sauk Centre, MN 56378
 Ph: (320) 352-2203 FAX: (320) 352-0121

**New Dwelling
 Building Permit Application**

For Office Use Only	
Permit No.	_____
PID No.	_____
DATE RCVD.	_____
Permit Fee	_____
Surcharge	_____
Plan Check	_____
TOTAL FEE FOR CITY	\$ _____
Water Access	_____
Sewer Access	_____
TOTAL FEE FOR PUC	\$ _____

Please Type or Print Legibly:

1. Site Address _____ Sauk Centre, MN
2. Owner(s) _____ Daytime Phone _____
3. Owner's Address (if different from above) _____
4. Legal Description of Site: *(Please Attach Metes & Bounds Description on Separate Sheet)*
Note If unknown, please refer to property tax statement or ask Zoning Administrator*

Lot _____ Block _____ Addition _____

5. Type of Construction:
 Built On-Site _____ Modular _____ Prefabricated _____ Other _____ *(Explain)*

6. Dimensions of Uses in Sq. Ft.:
 Dwelling (1st Story) _____ Dwelling (Additional Stories) _____
 Basement _____ Finished? _____ (yes or no) Garage _____
 Deck _____ *(If deck is planned it must be shown on plans and completed w/in 1 year)*

7. Number of Stories of Structure _____
8. Type of Siding _____ **City Code Section 156.086 prohibits the use of exposed fasteners on steel siding**

9. Approximate Start Date _____

10. Please provide general contractor's name and license number as required by Minnesota Statute

Name _____ License No. _____ **OR**

This work is being done by applicant who is acting as their own general contractor and assumes complete responsibility. I have read and signed the Licensed Contractor Disclaimer. _____ (Initial Here)

11. Please Provide the Following:

General Contractor _____ PH: _____

Electrical Contractor _____ PH: _____

Plumbing Contractor _____ PH: _____

Mason & Concrete Contractor _____ PH: _____

Heating & Venting Contractor _____ PH: _____

Excavation Contractor _____ PH: _____

12. Is a Sprinkler System Planned? _____ (yes or no)

13. Estimated Cost of Project (Including Materials & Labor): \$ _____

Required Forms & Items to Return with Application:

Attached Utilities Checklist (To Be Completed and Signed at Public Utilities Office)

Attached New Construction Energy Code Compliance Checklist

Attached Erosion Control Requirements - *Must be signed*

Certificate of Survey which includes all of the provisions as listed on the attached Building Permit Request Requirements Sheet

(Please see attached example Certificate of Survey as well)

THREE SETS of Construction Plans (One can be 11 x 17 for file)

Cross section detailing foundation, footings, wall, roof, steps, deck, other (As applicable)

Licensed Contractor Disclaimer (If acting as own general contractor and not licensed)

Other _____

Note: Incomplete applications will be returned. To expedite the permit process, please make sure you have answered all questions and include ALL supplemental items as noted above.

Your application will be deferred until all checked items above are provided.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of Laws and Ordinances governing this type of work will be complied with whether specified herein or not. I have identified all property boundaries, easements, flood zones and/or wetlands existing on the property on my survey and application.

The undersigned further agrees the City and its' administrative staff relied on the accurateness of this application, plans and specifications relative to this project and holds the city of Sauk Centre, and its employees harmless from all liability arising from the granting of this permit.

AUTHORIZED SIGNATURE OF OWNER OR BUILDER

ZONING ADMINISTRATOR

This Permit Expires One Year From: _____

BUILDING INSPECTOR

Remarks: _____

New Construction Energy Code Compliance Checklist/Certificate

Per R401.3 Certificate. A building certificate shall be posted on or in the electrical distribution panel.	Date Certificate Posted
Mailing Address of the Dwelling or Dwelling Unit	City
Name of Residential Contractor	MN License Number



THERMAL ENVELOPE										RADON CONTROL SYSTEM	
Insulation Location	Total R-Value of all Types of Insulation	Type: Check All That Apply								Passive (No Fan)	
		Non or Not Applicable	Fiberglass, Blown	Fiberglass, Batts	Foam, Closed Cell	Foam, Open Cell	Mineral Fiberboard	Rigid, Extruded Polystyrene	Rigid, Isocynurate	Active (With fan and monometer or other system monitoring device)	
Below Entire Slab										Location (or future location) of Fan:	
Foundation Wall										Other Please Describe Here	
Perimeter of Slab on Grade											
Rim Joist (1st Floor)											
Rim Joist (2nd Floor+)											
Wall											
Ceiling, flat											
Ceiling, vaulted											
Bay Windows or cantilevered areas											
Floors over unconditioned area											
Describe other insulated areas											

Building Envelope Air Tightness:		Duct System Air Tightness:	
---	--	-----------------------------------	--

Windows & Doors	Heating or Cooling Ducts Outside Conditioned Spaces
Average U-Factor (excludes skylights and one door) U:	Not applicable, all ducts located in conditioned space
Solar Heat Gain Coefficient (SHGC):	R-value

MECHANICAL SYSTEMS						Make-up Air Select a Type	
Appliances	Heating System		Domestic Water Heater		Cooling System		Not required per mech. code
Fuel Type							Passive
Manufacturer							Powered
Model							Interlocked with exhaust device. Describe:
Rating or Size	Input in BTUS:		Capacity in Gallons:		Output in Tons:		Other, describe:
Efficiency	AFUE or HSPF%				SEER /EER		Location of duct or system:
Residential Load Calculations	Heating Loss		Heating Gain		Cooling Load		CFMs
							"round" duct OR
							"metal" duct

MECHANICAL VENTILATION SYSTEM						Combustion Air Select a Type	
Describe any additional or combined heating or cooling systems if installed: (e.g. two furnaces or air source heat pump with gas back-up furnace):						Not required per mech. code	
Select Type						Passive	
Heat Recovery Ventilator (HRV) Capacity in CFMs:		Low:		High:		Other, describe:	
Energy Recovery Ventilator (ERV) Capacity in CFMs:		Low:		High:		Location of duct or system:	
Balanced Ventilation Capacity in CFMs:						CFMs	
Location of fans(s), describe:						"round" duct OR	
Capacity of continuous ventilation rate in CFMs:						"metal" duct	
Total ventilation (intermittent + continuous) rate in CFMs:							

Erosion Control Requirements Landscaping and Grading

It is the intent of the City of Sauk Centre to satisfy the appropriate water quality requirements of the Clean Water Act and the Environmental Protection Agency's (EPA) Storm Water Phase II of the National Pollutant Discharge Elimination System (NPDES) storm water program.

Provisions shall be made to the maximum extent practical for construction related activities to assure:

- Public streets remain clean
- The water quality of our water bodies and wetlands is protected and enhanced
- Discharge of sediments and pollutant runoff into storm drains is reduced or eliminated
- Surrounding properties will be minimally affected by erosion and runoff

Construction activities which include: clearing, grading or excavating land shall provide for effective control of erosion, sediments and all other pollutants. The property owners or construction site operators shall be responsible for the installation and monitoring of erosion and sediment controls and best management practices (BPM's). Such controls will be monitored through the building permit inspection process.

At minimum, the following BPM's shall be implemented:

- **Silt fencing around areas of disturbed soil**
Silt fencing shall be placed around the outer edge of all areas in accordance with the details shown on the back. On typical residential lots, the placement shall be within 3' of the lot line. The City will determine those areas that require silt fence based on the site plan submitted, but the city reserves the right to require additional silt fence at any time as determined necessary. A sample of erosion control requirements is on the reverse side illustrating the details for installation of silt fencing.
- **Stabilized construction entrances**
Using soil to bridge the curb line or cross the street is PROHIBITED. Plywood or wood planking may be used or curb cuts or driveway aprons may be completed for entrance.
- **Temporary rock construction entrances**
Temporary rock entrances shall be placed at all access points to a construction site. The installation of more than one access point shall be reviewed and approved by the City. The rock entrances shall be a minimum of 12 feet in width and 20 feet long and shall be placed in accordance with the details shown on the back.

I have read, understand and agree to the above requirements.

Signed: _____ **Date:** _____

New Dwelling Building Permit Request Requirements

A **Certificate of Survey by a MN Registered Land Surveyor** is required with all applications for new construction

The survey should include at minimum:

- * Legal description of the property and site address
- * Lot dimensions
- * North Point and Graphic Scale
- * All adjacent streets, alleys, easements, utilities (water, sewer, electric) and overhead power lines
- * Footprint of ALL structures with ALL **setbacks** and **dimensions** noted
- * Elevation of all lot corners, the building pad, side front and rear yard lines, elevations at all low openings or all lookout/walkouts, garage slab elevation, top of footing elevation, lowest floor elevation, top of block elevation and curb elevation
- * Drainage arrows showing how the lot is to drain
- * Percent of driveway slope and width of curb cut at the street (calculate slope at center of driveway)
- * Distance to reference points from lot corner along lot line to verify building placement

An example certificate of survey on the reverse side demonstrates the detail expected.

Additionally, the Building Official requires **THREE** sets of **Construction Plans** (2-Full Size Plans and 1-11x17 Plan) drawn to scale. An approved set of plans will be returned to you; the second set will be filed with the City. The following items must be included on all construction plans (as applicable):

- * Floor plan of basement and each floor above
- * Fire protection between house and attached garage
- * Foundation drainage
- * Names and addresses of: General Contractor, Plumber, Mechanical, Electrician
- * Cross Section detailing foundation, footings, wall roof, steps, deck (as applicable)

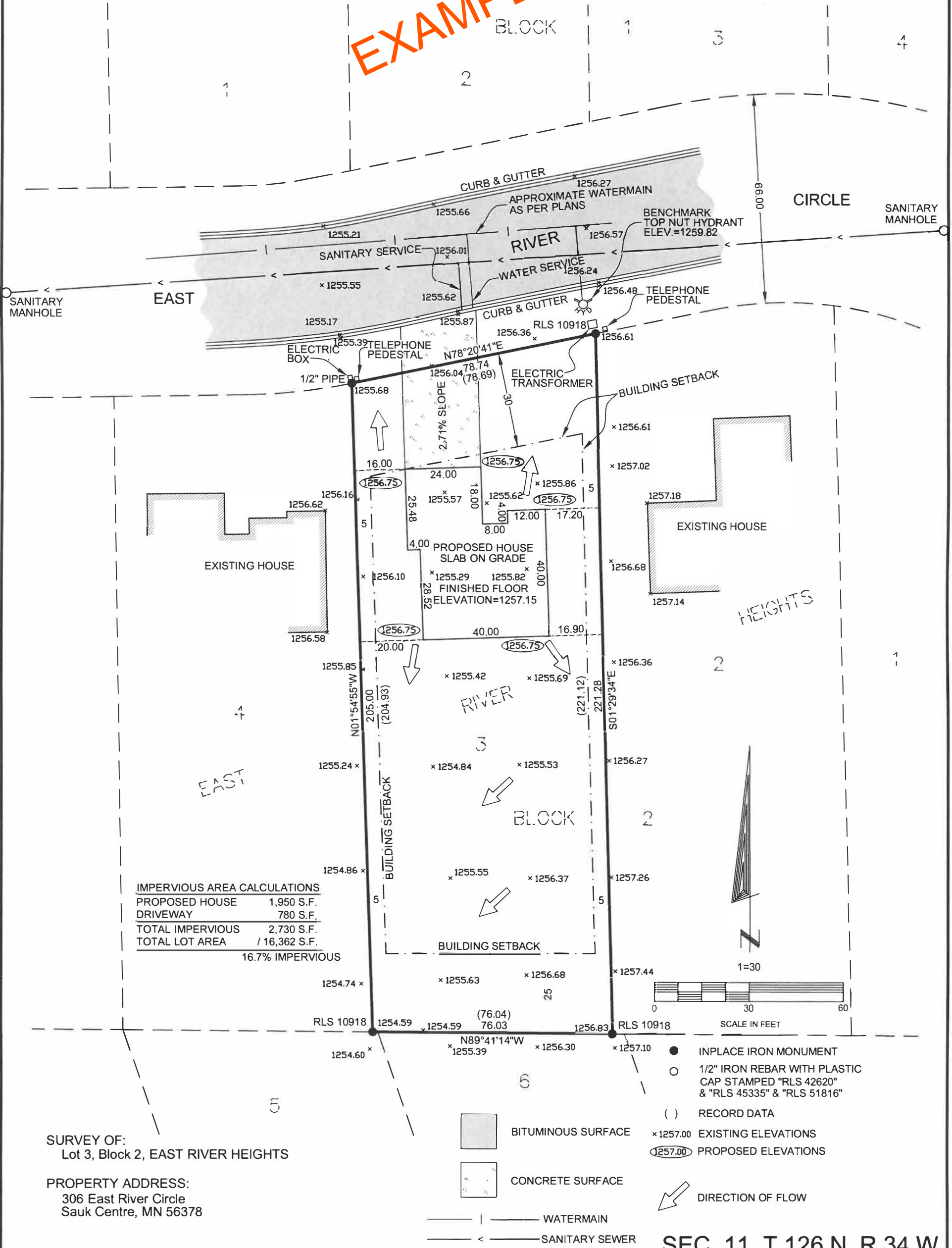
The following standards apply for R-1 zoning district:

Site Requirements: Minimum Lot Area - 10,500 (sgl family) 15,000 (two family) Minimum Lot Width - 75' Maximum Lot Coverage - 50%	Structure Requirements: Maximum Height - 2 & 1/2 Stories Minimum Building Width - 24' Minimum Building Area - 576 sq. ft.
Setback Requirements: Front Setback - 30' Rear Setback - 25' Side Setback - 5' Maximum Area of Garage - See City Code Section 156.022. Corner lots at street intersections shall maintain front yard setbacks on each street side	

Please contact the Planning/Zoning Office with questions at (320) 352-2203.

CERTIFICATE OF SURVEY

EXAMPLE



IMPERVIOUS AREA CALCULATIONS	
PROPOSED HOUSE	1,950 S.F.
DRIVEWAY	780 S.F.
TOTAL IMPERVIOUS	2,730 S.F.
TOTAL LOT AREA	16,362 S.F.
16.7% IMPERVIOUS	

SURVEY OF:
Lot 3, Block 2, EAST RIVER HEIGHTS

PROPERTY ADDRESS:
306 East River Circle
Sauk Centre, MN 56378

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

Micah T. Radach
Micah T. Radach
Date October 24th, 2016 License No. 51816

- INPLACE IRON MONUMENT
- 1/2" IRON REBAR WITH PLASTIC CAP STAMPED "RLS 42620" & "RLS 45335" & "RLS 51816"
- () RECORD DATA
- × 1257.00 EXISTING ELEVATIONS
- 1257.00 PROPOSED ELEVATIONS
- ↙ DIRECTION OF FLOW
- ▭ BITUMINOUS SURFACE
- ▭ CONCRETE SURFACE
- WATERMAIN
- - - SANITARY SEWER

SEC. 11 T 126 N R 34 W

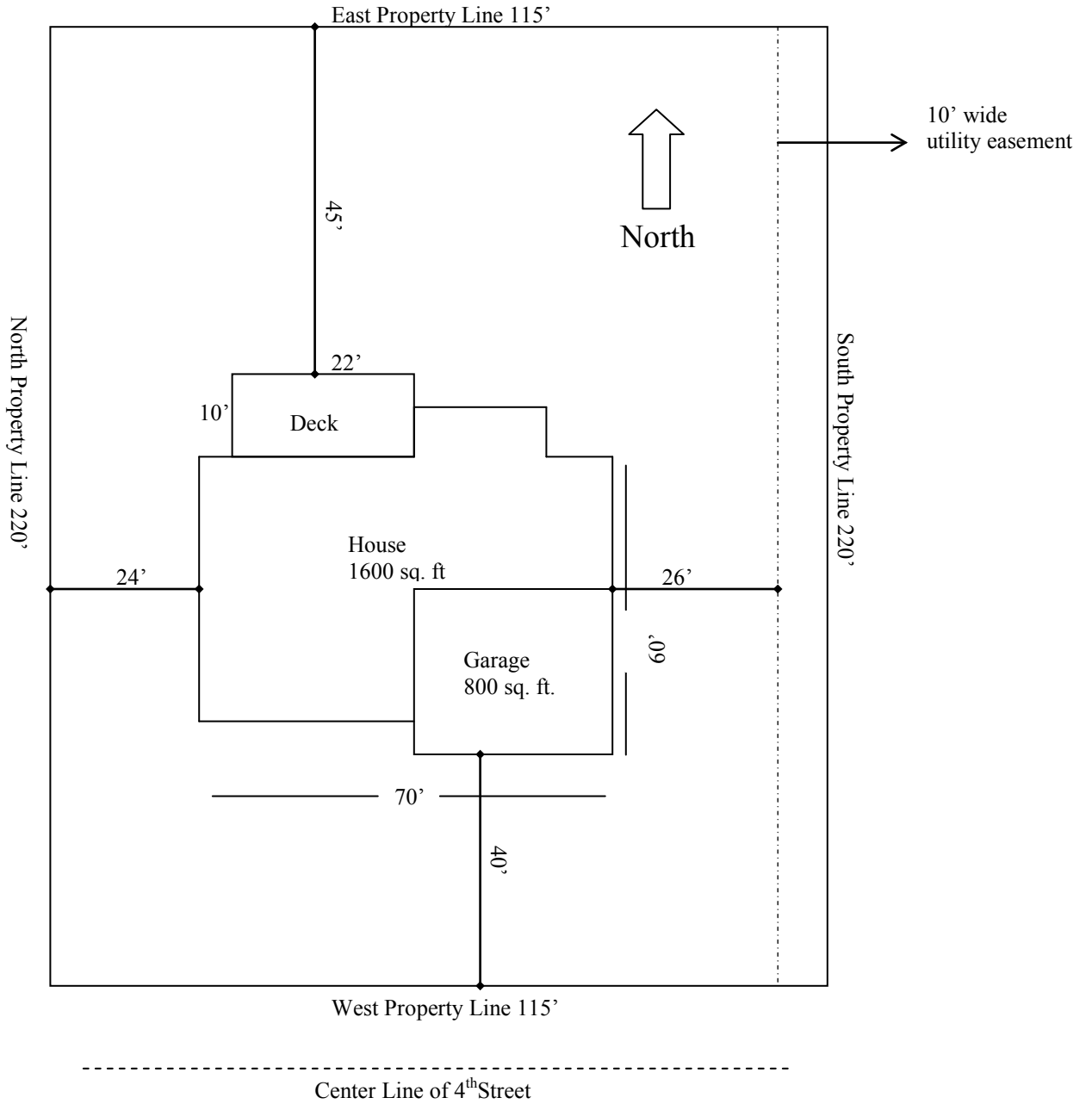
DATE: 10/24/2016 • DRAWN BY: MTR • CHECKED: BMN • JOB NO. 9206

REQUESTED BY:

Nyberg
SURVEYING

509 22ND AVE. EAST, SUITE 101
ALEXANDRIA, MINNESOTA 56308
PH. (320) 762-4111 * FAX (320) 762-4112
www.nybergsurveying.com

Example Site Plan

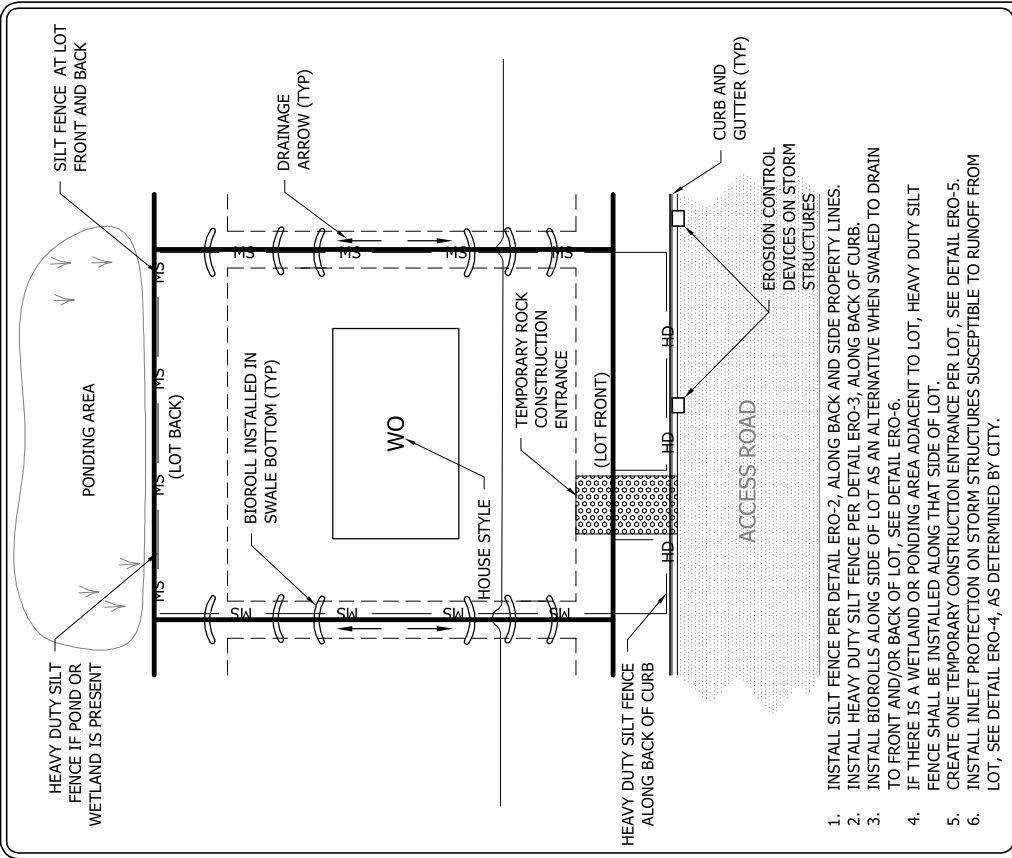


John & Jane Doe
Site Plan

Lot 1 Block 3 Brown Addition

Scale 1" = 20'

Plot Date: 03/21/2016
 Drawing Name: V:\19\B\resources\DWG Blocks\cvt\DetDwg\NewCity of Sauk Centre\ERO-02.dwg
 Xref:



Plot Date: 03/21/2016
 Drawing Name: V:\19\B\resources\DWG Blocks\cvt\DetDwg\NewCity of Sauk Centre\ERO-01.dwg
 Xref:

1. INSTALL SILT FENCE PER DETAIL ERO-2, ALONG BACK AND SIDE PROPERTY LINES.
2. INSTALL HEAVY DUTY SILT FENCE PER DETAIL ERO-3, ALONG BACK OF CURB.
3. INSTALL BIOROLLS ALONG SIDE OF LOT AS AN ALTERNATIVE WHEN SWALED TO DRAIN TO FRONT AND/OR BACK OF LOT, SEE DETAIL ERO-6.
4. IF THERE IS A WETLAND OR PONDING AREA ADJACENT TO LOT, HEAVY DUTY SILT FENCE SHALL BE INSTALLED ALONG THAT SIDE OF LOT.
5. CREATE ONE TEMPORARY CONSTRUCTION ENTRANCE PER LOT, SEE DETAIL ERO-5.
6. INSTALL INLET PROTECTION ON STORM STRUCTURES SUSCEPTIBLE TO RUNOFF FROM LOT, SEE DETAIL ERO-4, AS DETERMINED BY CITY.



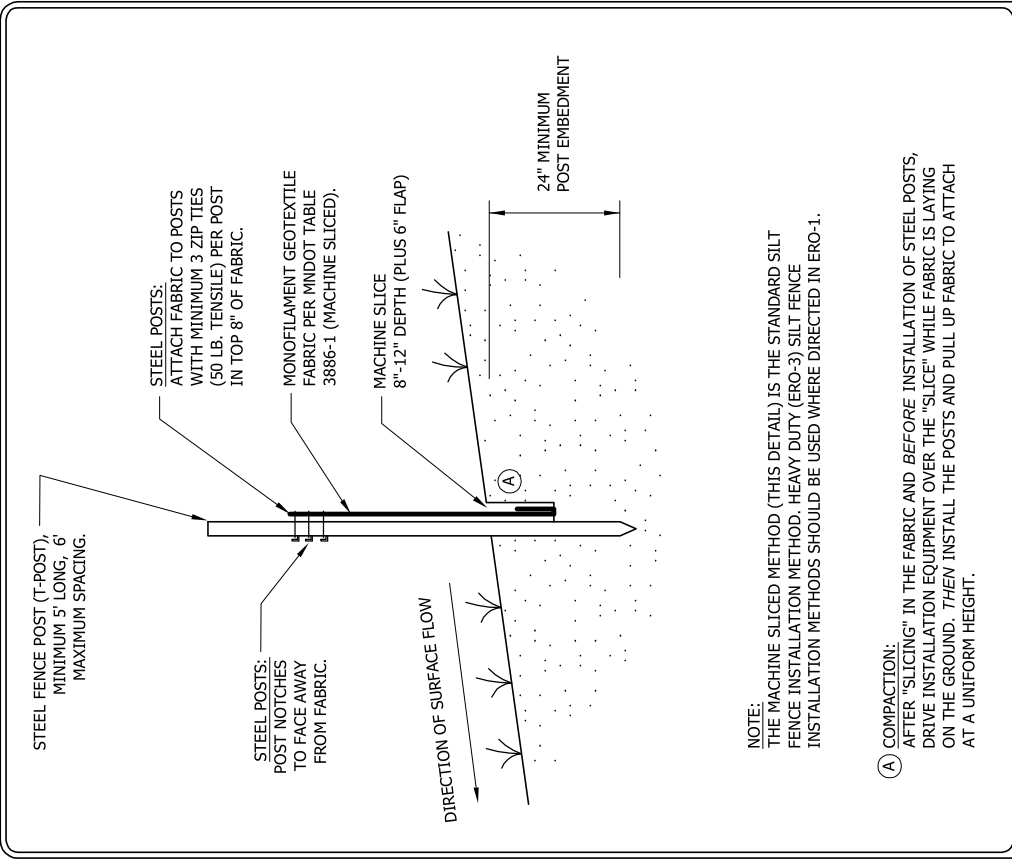
317 264 Street S
 St. Cloud, MN 56301
 www.stantec.com

EROSION CONTROL FOR LOT GRADING

SAUK CENTRE, MINNESOTA

LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-1



NOTE:
 THE MACHINE SLICED METHOD (THIS DETAIL) IS THE STANDARD SILT FENCE INSTALLATION METHOD. HEAVY DUTY (ERO-3) SILT FENCE INSTALLATION METHODS SHOULD BE USED WHERE DIRECTED IN ERO-1.

(A) COMPACTION:
 AFTER "SLICING" IN THE FABRIC AND BEFORE INSTALLATION OF STEEL POSTS, DRIVE INSTALLATION EQUIPMENT OVER THE "SLICE" WHILE FABRIC IS LAYING ON THE GROUND. THEN INSTALL THE POSTS AND PULL UP FABRIC TO ATTACH AT A UNIFORM HEIGHT.



317 264 Street S
 St. Cloud, MN 56301
 www.stantec.com

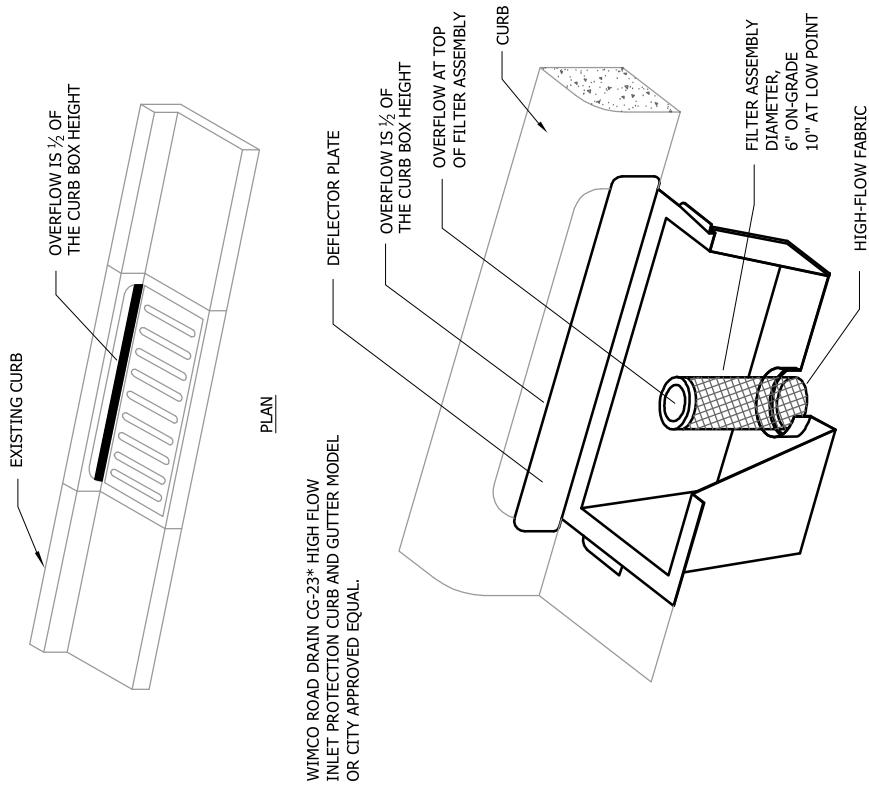
MACHINE SLICED SILT FENCE

SAUK CENTRE, MINNESOTA

LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-2

Plot Date: 03/21/2016
 Drawing Name: V:\19308\resource\DWG Blocks\inlet\DetDetg\NewCity of Sauk Centre\ERD-04.dwg
 Xref:



PLAN

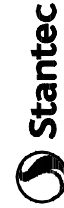
WIMCO ROAD DRAIN CG-23* HIGH FLOW
 INLET PROTECTION CURB AND GUTTER MODEL
 OR CITY APPROVED EQUAL.

LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-4

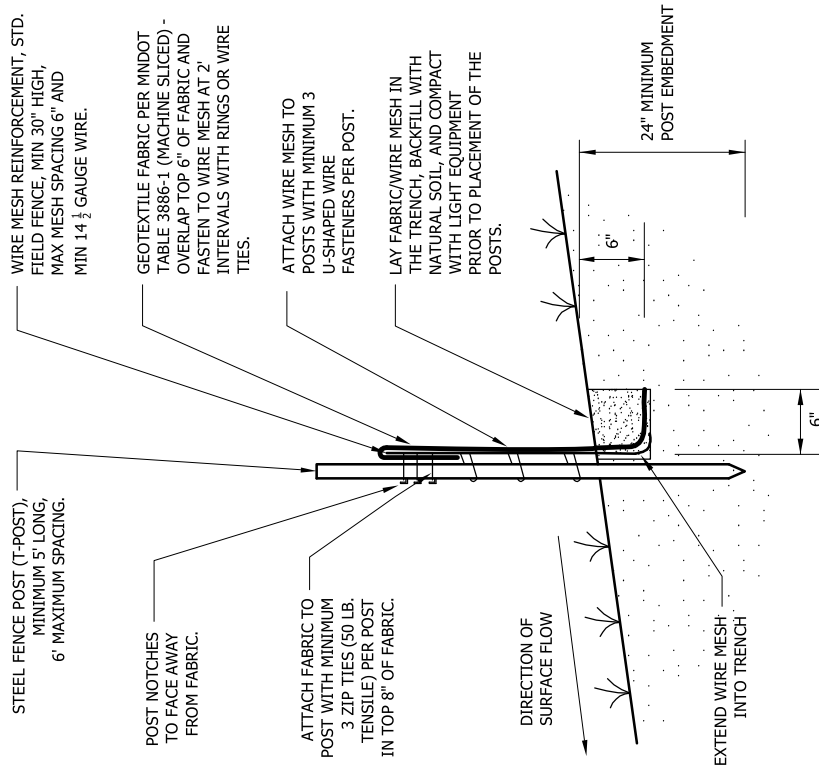
INLET PROTECTION - CATCH BASIN INSERT
 AFTER CURB CONSTRUCTION

SAUK CENTRE, MINNESOTA



3717 26th Street S
 St. Cloud, MN 56301
 www.stantec.com

Plot Date: 03/21/2016
 Drawing Name: V:\19308\resource\DWG Blocks\inlet\DetDetg\NewCity of Sauk Centre\ERD-03.dwg
 Xref:



NOTE:
 SPlicing WILL BE MADE AT OPPOSING SILT FENCE POSTS BY PLACING
 POSTS AND SILT FENCE NEXT TO EACH OTHER AND ROTATING 360°.

LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-3

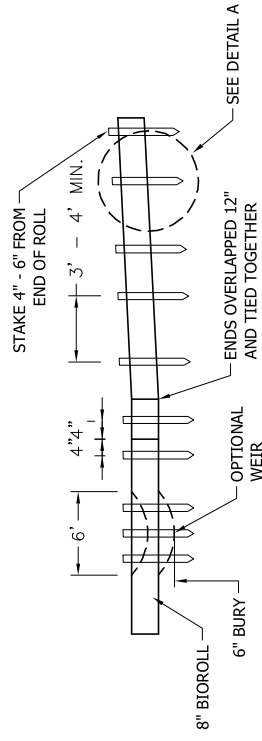
HEAVY DUTY SILT FENCE

SAUK CENTRE, MINNESOTA

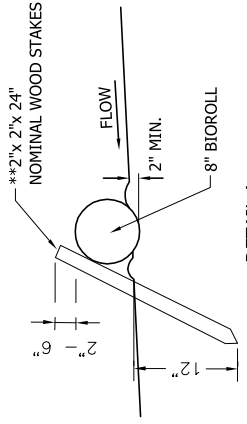


3717 26th Street S
 St. Cloud, MN 56301
 www.stantec.com

Plot Date: 03/10/16
 Drawing name: V:\19306\resource\DWG Blocks\civ\Det\Deg\NewCity of Sauk Centre\ERO-06.dwg
 Xref:



* OPTIONAL WEIR - USE IN FLAT AREAS WHERE THERE IS POTENTIAL FOR WATER TO BE BACKED UP ON ADJACENT PROPERTY.



** STAKES SPACED EVERY 3-4 FEET. MANUFACTURER MAY REQUIRE STAKE THROUGH CENTER OF BIOROLL. THE BIOROLL MANUFACTURER'S STAKING DETAILS SUPERSEDE THIS STAKING DETAIL.

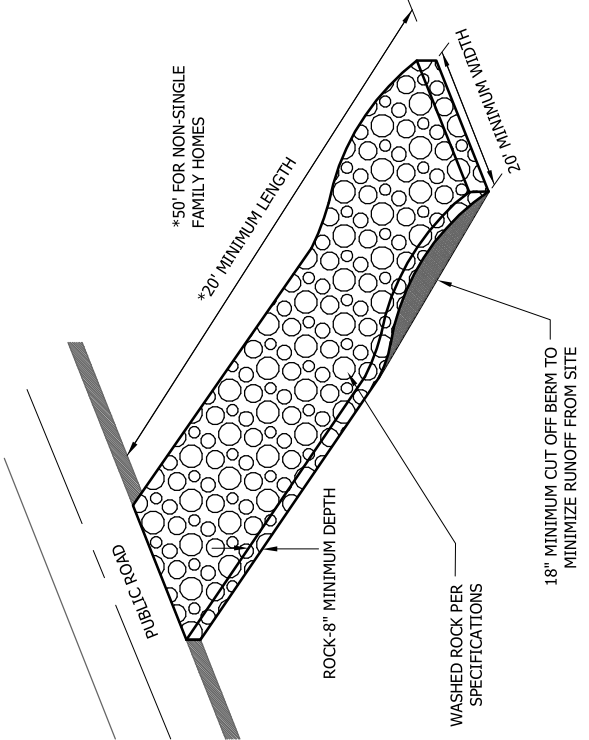
LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-6

8" BIOROLL INSTALLATION
 SAUK CENTRE, MINNESOTA



Plot Date: 03/10/16
 Drawing name: V:\19306\resource\DWG Blocks\civ\Det\Deg\NewCity of Sauk Centre\ERO-05.dwg
 Xref:



- NOTES:
1. MnDOT 3733 TYPE 4 FILTER FABRIC SHALL BE PLACED UNDER ROCK TO STOP MUD MIGRATION THROUGH MATERIAL.
 2. FUGITIVE ROCK WILL BE REMOVED FROM ADJACENT ROADWAYS DAILY OR MORE FREQUENTLY AS NECESSARY.
 3. CONSTRUCTION ENTRANCE MUST BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS ON THE SITE.
 4. THE ENTRANCE MUST BE MAINTAINED IN PROPER CONDITION TO PREVENT TRACKING OF MUD OFF THE SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE PAD.
 5. THIS ENTRANCE WILL BE USED BY ALL VEHICLES ENTERING OR LEAVING THE PROJECT.
 6. THE CONSTRUCTION ENTRANCE WILL BE REMOVED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACING.

LAST REVISION:
 MARCH 2016

PLATE NO.
 ERO-5

ROCK CONSTRUCTION ENTRANCE
 SAUK CENTRE, MINNESOTA

